

438037

THE STONE BARN, a condominium  
(Condominium No. 56, Olmsted County, Minnesota)

CONDOMINIUM DECLARATION  
(Minnesota Statutes 515A. 2-105)

JOHN D. BASS and MARY JO BASS, acting under the provisions of the Minnesota Uniform Condominium Act declare as follows:

- (1) The name of the condominium is The Stone Barn, a condominium  
The condominium is No. 56, Olmsted County, Minnesota.
- (2) Every part of this condominium is situate in Olmsted County, Minnesota.
- (3) The legal description of the real estate included in the condominium is:  
  
Lot One (1), Block One (1), Stone Barn Subdivision, according  
to the recorded Plat thereof on file and of record in the office  
of the County Recorder in and for Olmsted County, Minnesota;
- (4) Each unit of the condominium is bounded by its ceiling, floor and walls  
as defined in Minnesota Statutes 515A. 2-102.
- (5) The floor plans, Exhibit A, required by Minnesota Statutes 515A. 2-110  
are a part of this declaration.
- (6) If a unit improvement encroaches upon common elements, or another  
unit or if a common element improvement encroaches upon a unit, an  
easement for such encroachment and the maintenance of the encroachment  
shall exist for so long as the encroachment may exist.
- (7) The condominium shall consist of two units, to-wit:  
  
Unit One - consisting of 2,288.13 square feet of floor area  
Unit Two - consisting of 1,199.95 square feet of floor area
  - (a) Common elements shall be allocated between the units  
on the basis of floor area as shown on the floor plans.
  - (b) Common expenses shall be allocated between the units  
on the basis of floor area shown on the floor plans.  
Any expenditure incurred as a result of the enforce-  
ment by the City of Rochester of the Restrictive  
Covenants dated May 5, 1981, recorded May 28, 1981 in  
Book L-4 of Miscellaneous Records, Page 333, shall  
be treated as a repair of the common elements of  
the condominium.
  - (c) Each unit shall have an equal vote in the association.

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Allocation to each unit of an undivided interest in the common elements, vote in the association, and percentage of common expenses in the association:

	Unit One	Unit Two
Common elements	65.5986%	34.4014%
Vote	One	One
Common expense	65.5986%	34.4014%

- (8) Unit One may be subdivided into two units pursuant to Minnesota Statutes 515A. 2-115.
- (9) Use of the described premises shall be restricted to any lawful use.
- (10) The condominium is not subject to an ordinance provided for in Minnesota Statutes 515A. 1-106.
- (11) All present and future owners, tenants, their employees and any other persons who might use the facilities of the condominium in any manner are subject to the Articles of Incorporation and By-Laws of The Stone Barn, Inc., a Minnesota Corporation.
- (12) Except as stated herein provisions of the Uniform Condominium Act (515A) shall be applicable to this condominium.

IN TESTIMONY WHEREOF, said parties have hereunto set their hands the 31 day of August, 1981.

John D. Bass  
John D. Bass

Mary Jo Bass  
Mary Jo Bass

STATE OF MINNESOTA

ss

COUNTY OF OLMSTED

The foregoing instrument was acknowledged before me this 31 day of August, 1981 by JOHN D. BASS and MARY JO BASS, husband and wife.

Dorothy C. Schultz

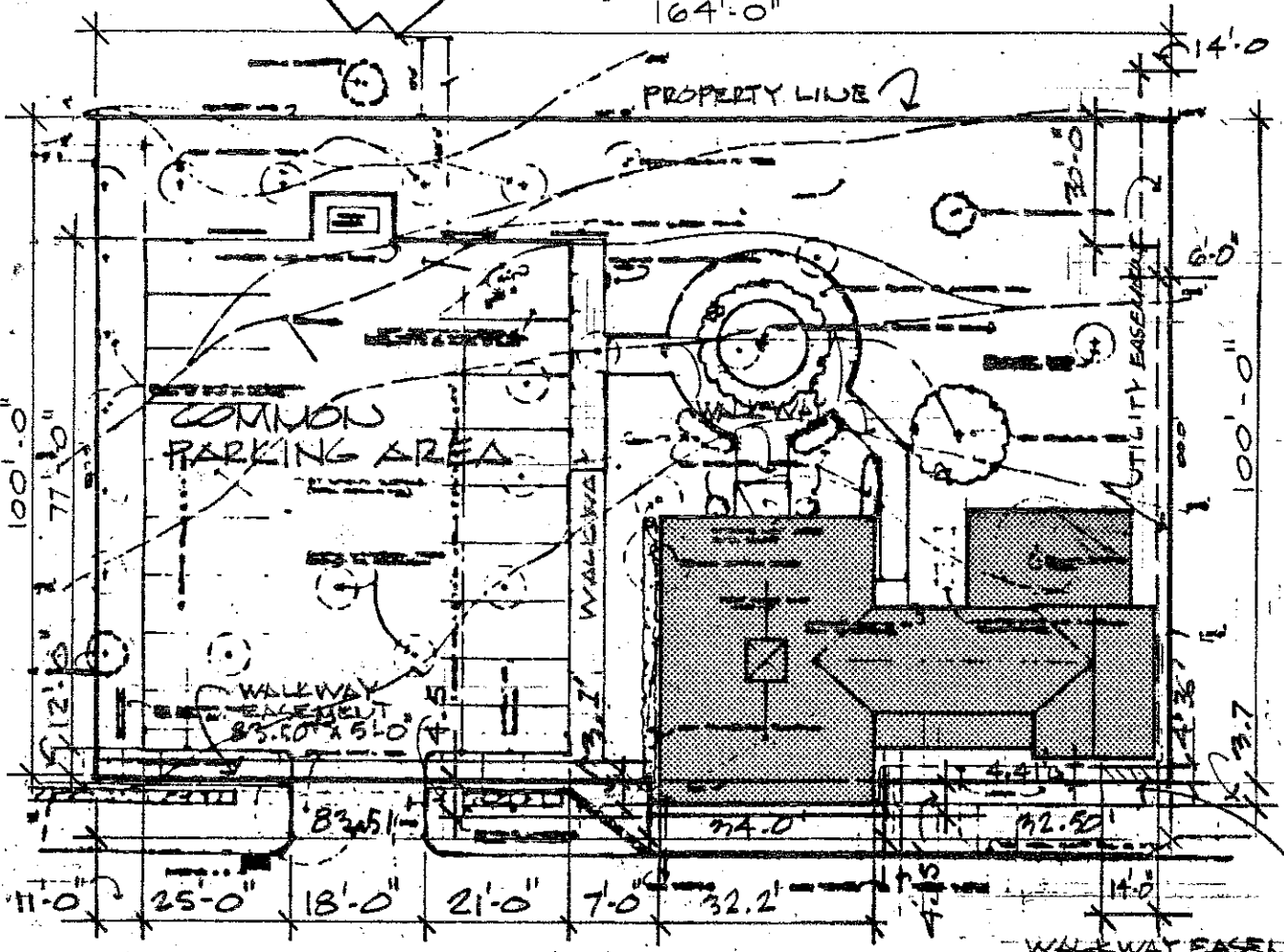


This instrument was drafted by:  
DONALD C. STEINER, P.A.  
425 First National Bank Building  
Rochester, MN 55901

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# EXHIBIT "A" SITE PLAN & FLOOR PLANS & ELEVATIONS.

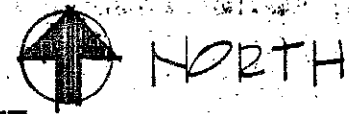
164'-0"



16th ST. S.W.

SITE PLAN

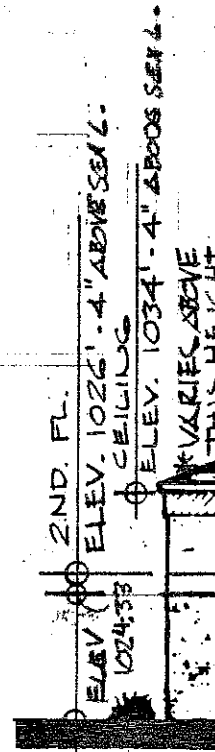
TOTAL BLDG. AREA 4361.60 SQ. FT.



THE STONE BARN, A CONDOMINIUM  
 CONDOMINIUM NO. 56 OLUSTED COUNTY MINNESOTA

The undersigned hereby certifies that the floor plans for the Stone Barn, a condominium consisting of Exhibit A page 1 thru 5 inclusive accurately depict all of the information required by Minnesota Statutes 515A 2-110 and the units Number 1 and Number 2 are substantially complete Minnesota Statute 515A. 2-110(c)

Dated 9/9/81 William J. Meselke  
 Registered Professional Architect  
 Reg. No. 12358

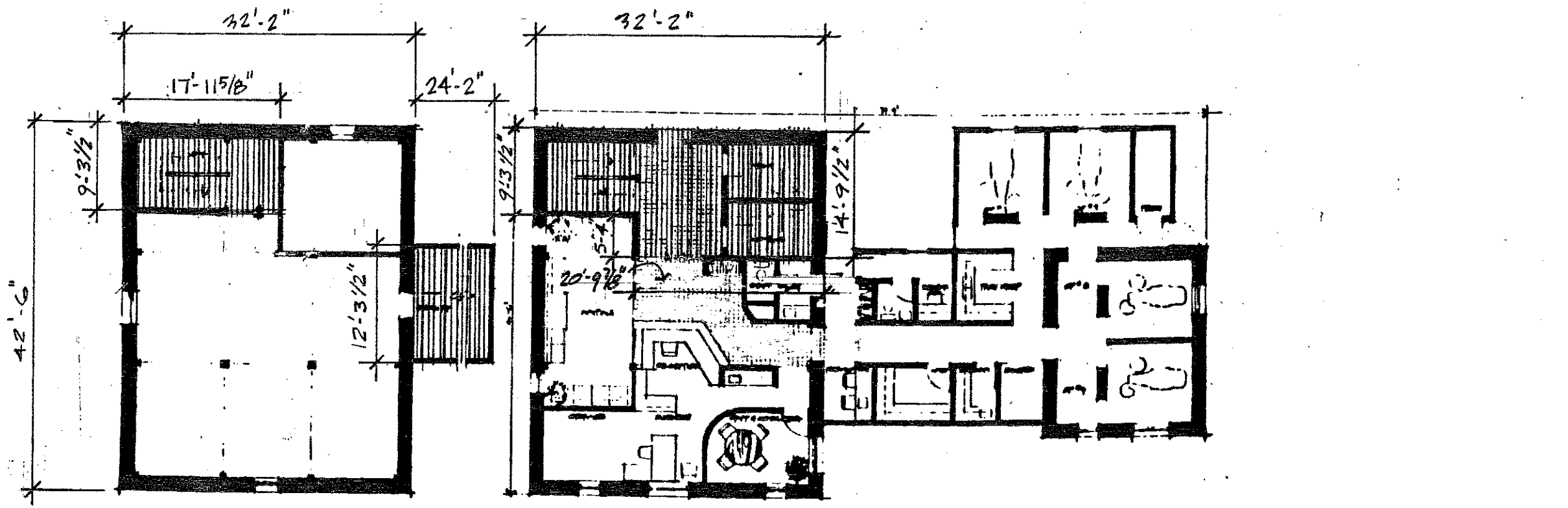


1ST. FL. ELEV. 1016.33 ABOVE SEA L.  
 SOUTH ELEVATION  
 UNIT NUMBER ONE & COMMON AREA  
 1ST FLOOR SEE EXHIBIT PAGES 2 & 3  
 UNIT NUMBER TWO & COMMON AREA  
 2ND. FLOOR SEE EXHIBIT PAGES 2 & 4  
 FOR ALL CEILING HEIGHTS SEE EXHIBIT PAGE 5

# EXHIBIT "A" COMMON AREAS

The undersigned hereby certifies that the floor plans for the Stone Barn, a condominium consisting of Exhibit A page 1 thru 5 inclusive accurately depict all of the information required by Minnesota Statutes 515A 2-110 and the units Number 1 and Number 2 are substantially complete Minnesota Statute 515A. 2-101(c).

Dated 9/9/81 William J. Meschke  
Registered Professional Architect  
Reg. No. 12358



COMMON AREA  
2ND FL. 463.78 SQ. FT.

COMMON AREA  
1ST FLOOR 409.74

DESIGNATES COMMON AREA

2<sup>ND</sup> FLOOR PLAN

FIRST FLOOR PLAN

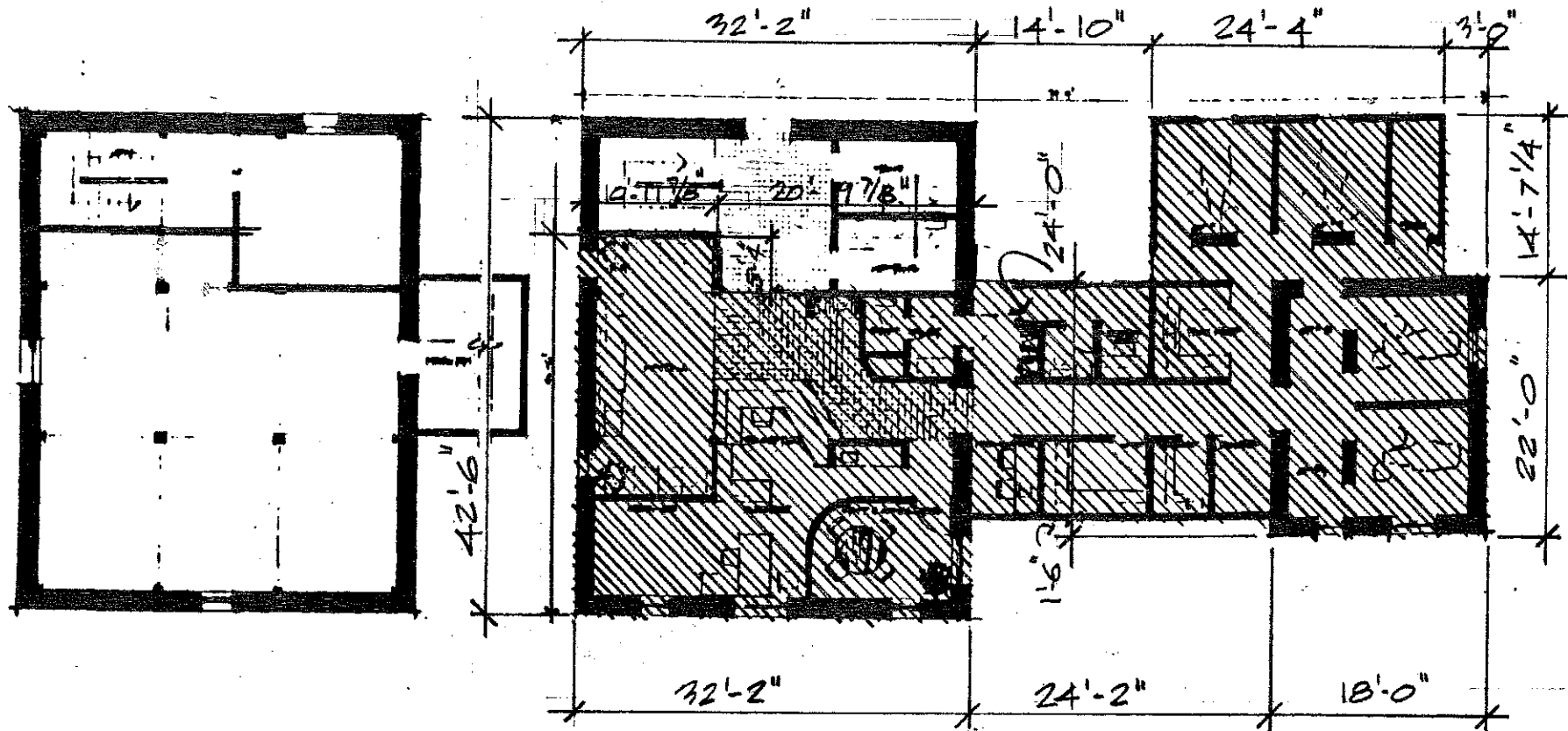


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# EXHIBIT "A" UNIT NUMBER ONE AREA

The undersigned hereby certifies that the floor plans for the Stone Barn, a condominium consisting of Exhibit A page 1 thru 5 inclusive accurately depict all of the information required by Minnesota Statutes 515A 2-110 and the units Number 1 and Number 2 are substantially complete Minnesota Statute 515A 2-101(c).

Dated 9/9/81 William J. Meschler  
Registered Professional Architect  
Reg. No. 12358



UNIT NUMBER ONE AREA 1ST FL. 2,288.13 SQ. FT.  
THIS UNIT MAY BE SUBDIVIDED INTO TWO UNITS PURSUANT TO MINNESOTA STATUTE 515A 2-115

2<sup>ND</sup> FLOOR PLAN 1<sup>ST</sup> FLOOR PLAN  NORTH

DESIGNATES UNIT NUMBER ONE 

## THE STONE BARN, A CONDOMINIUM

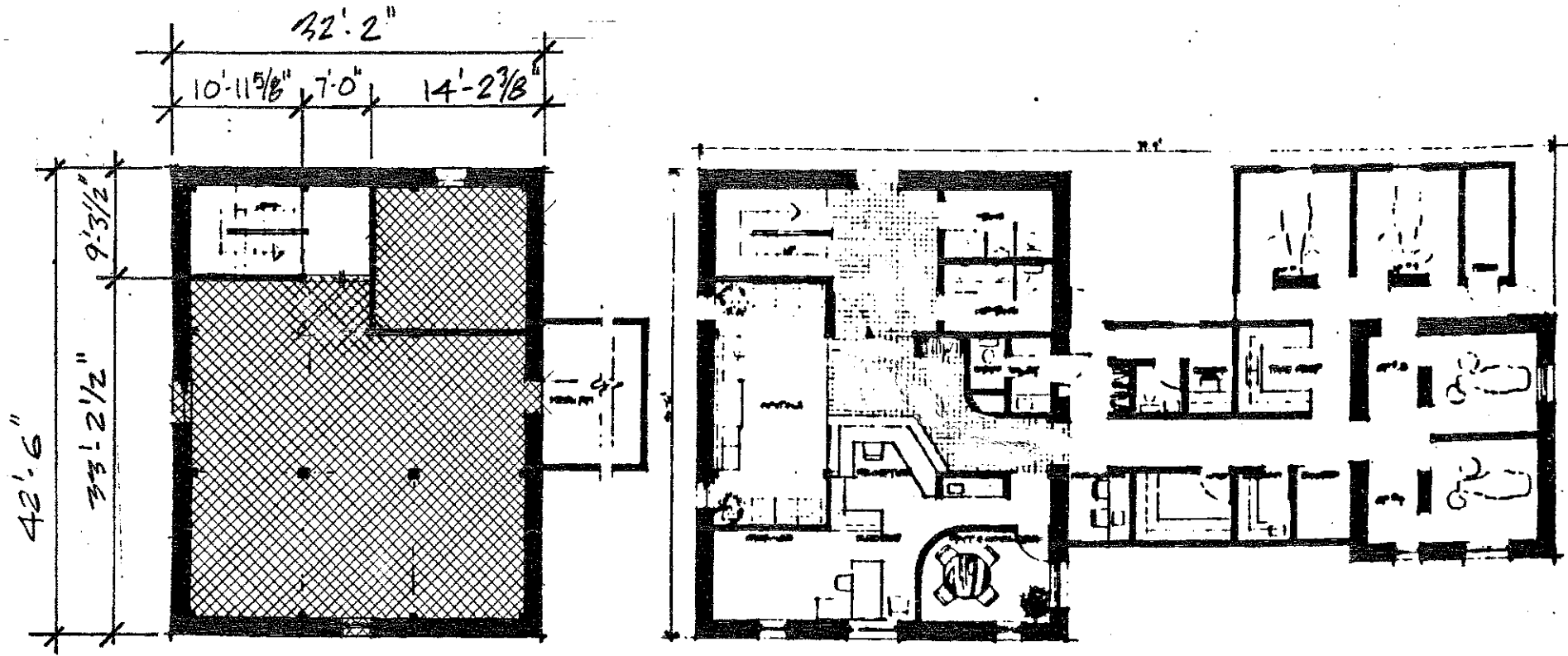
# EXHIBIT "A"

## UNIT NUMBER TWO AREA

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The undersigned hereby certifies that the floor plans for the Stone Barn, a condominium consisting of Exhibit A page 1 thru 5 inclusive accurately depict all of the information required by Minnesota Statutes 515A 2-110 and the units Number 1 and Number 2 are substantially complete Minnesota Statute 515A. 2-101(c).

Dated 9/9/81 William J. Meschke  
 Registered Professional Architect  
 Reg. No. 12358



UNIT NUMBER TWO AREA 2ND FL. 1,199.95 SQ. FT.

2<sup>ND</sup> FLOOR PLAN 1<sup>ST</sup> FLOOR PLAN  NORTH  
 DESIGNATES UNIT NUMBER TWO 

THE STONE BARN, A CONDOMINIUM  
 CONDOMINIUM NO. 56 OLMSTED COUNTY MINNESOTA

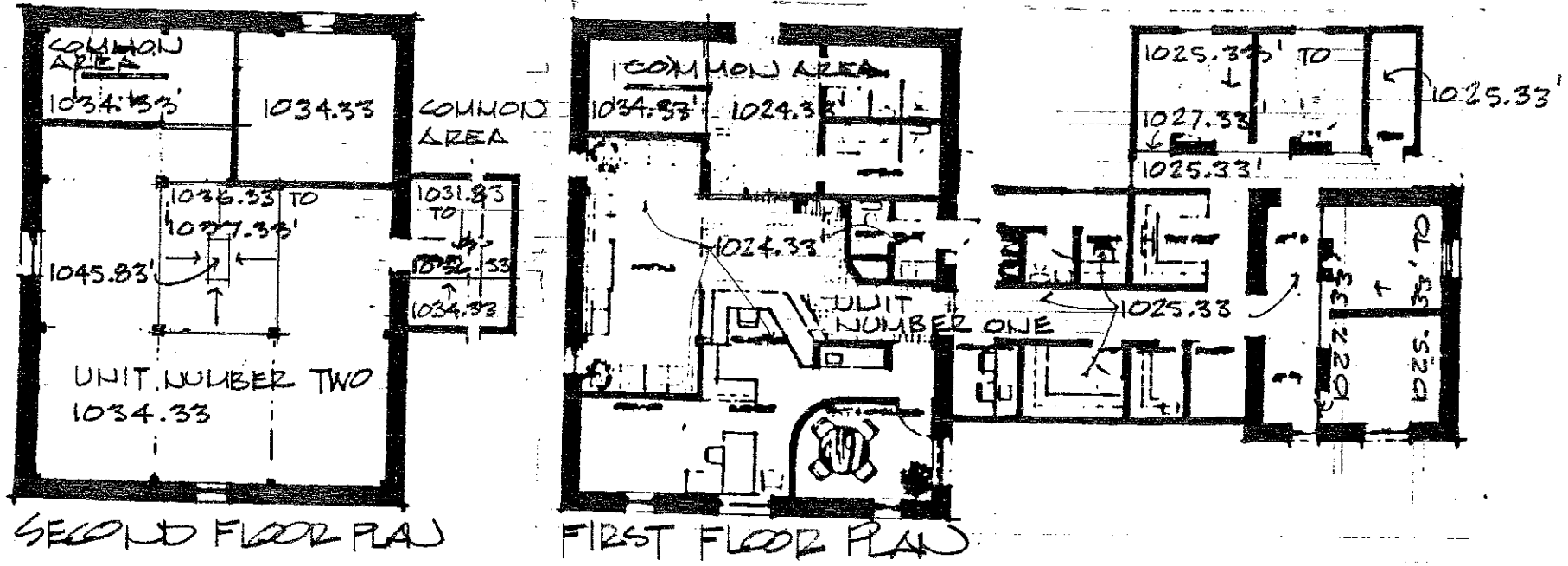
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# EXHIBIT "A" CEILING HEIGHTS

CEILING HEIGHTS ARE REFERENCED TO SITE ELEVATIONS

The undersigned hereby certifies that the floor plans for the Stone Barn, a condominium consisting of Exhibit A page 1 thru 5 inclusive accurately depict all of the information required by Minnesota Statutes 515A 2-110 and the units Number 1 and Number 2 are substantially complete Minnesota Statute 515A. 2-101(c)

Dated 9/9/81 William J. Measler  
Registered Professional Architect  
Reg. No. 12358



FIRST FLOOR ELEVATION ABOVE SEA LEVEL 1016.33'

SECOND FLOOR ELEVATION ABOVE SEA LEVEL 1026.33'



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CONDOMINIUM NO. 56 OLUSTED COUNTY MINNESOTA

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CERTIFICATION

(Minnesota Statutes 515A. 2-101 (b))

The undersigned hereby certifies that all structural components and mechanical systems, which serve more than one unit, of all buildings of The Stone Barn, a condominium are substantially completed consistent with the floor plans (Exhibits A-E) of such condominium. *Pages 1 thru 5, KB.*

Dated August 27, 1981

Kenneth Boyer 8929  
Registered Professional Engineer



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ABSTRACT	✓
GRANTOR	✓
GRANTEE	✓
TRACKED	✓
PAID	
CHG:	✓

COUNTY RECORDER OFFICE } ss.  
 Olmsted County, Minn.

I hereby certify that the within instrument  
 was filed in this office for record on

SEP 15 1981

at 2 o'clock P. M.  
 Book 4 of Misc. on page 839  
**LOIS FINSTUEN** County Recorder  
 By *Carole M. Ferris* Deputy

037

D. Steiner  
 Retain