

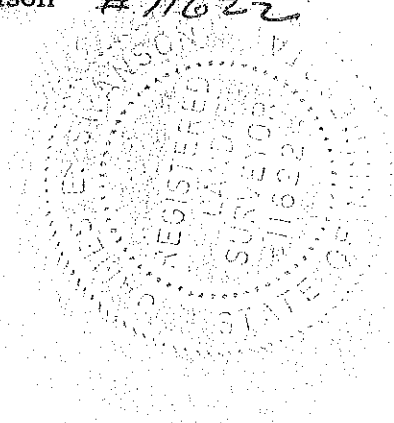
411838

CERTIFICATION

The undersigned, being a registered land surveyor, certifies that this plan is an accurate copy of portions of the plans of the building as filed with and approved by the municipal governmental subdivision having jurisdiction over the issuance of permits for the construction of buildings, and as built.

James E. Swanson
James E. Swanson #11622

411838 504



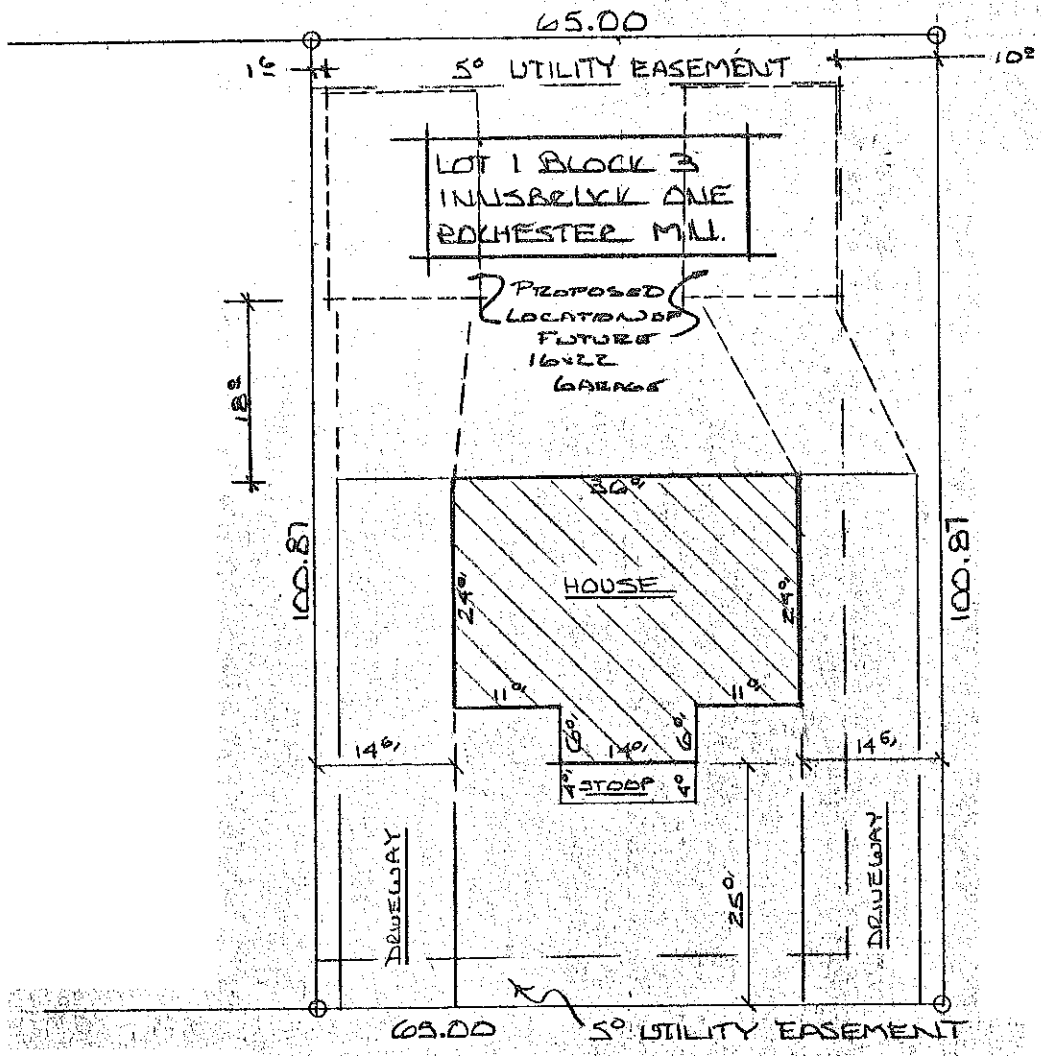
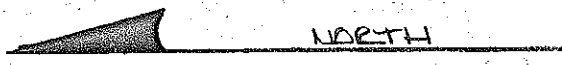
ABSTRACT
GRANTOR ✓
GRANTEE ✓
TRACKED ✓
PAID ✓
CHG: ✓

COUNTY RECORDER OFFICE } ss.
Olmsted County, Minn.
I hereby certify that the within instrument
was filed in this office for record on

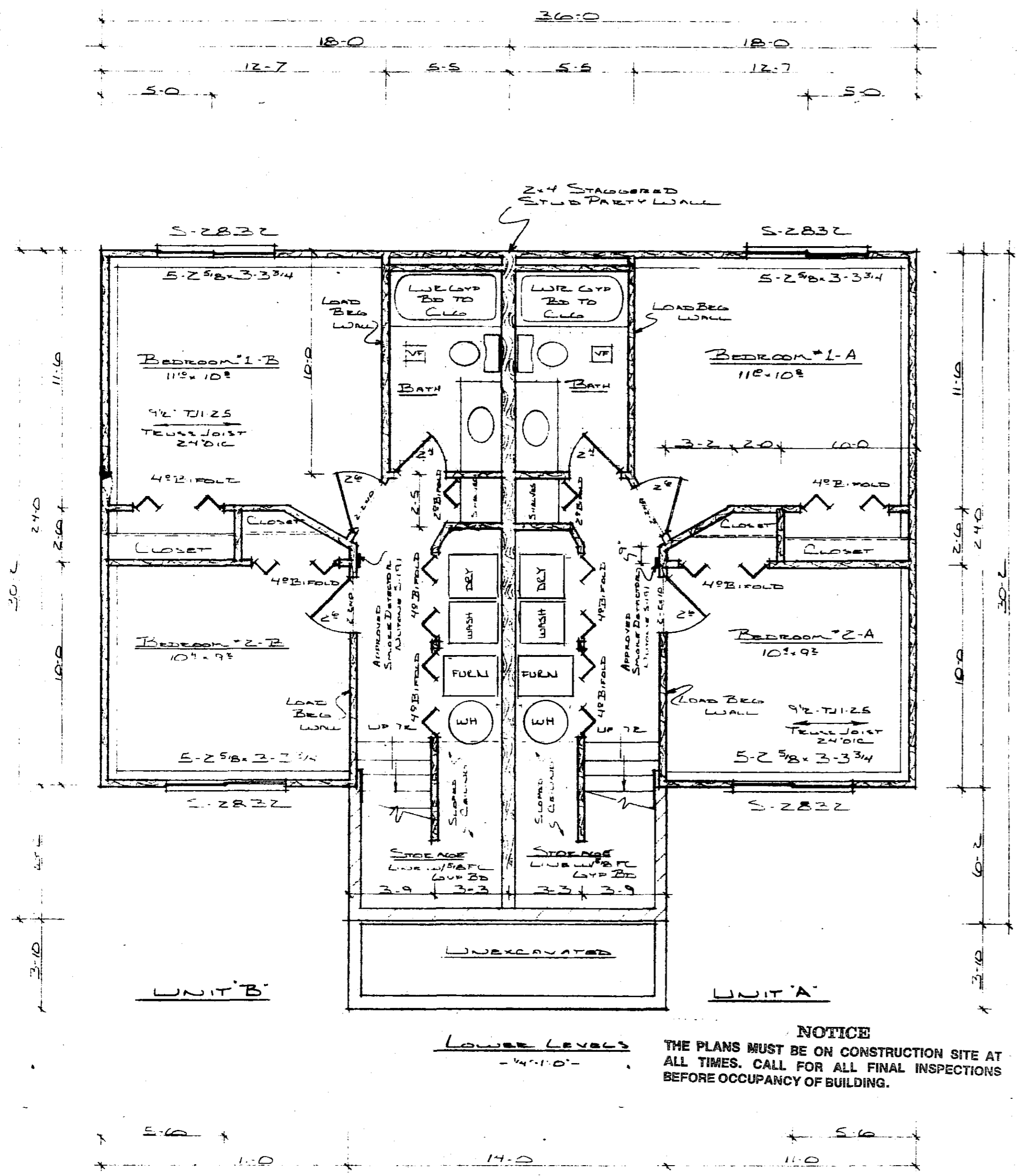
MAR 7 - 1979

at 11 o'clock A.M.
Book G-4 of Misc on page 930
LOIS FINSTUEN, County Recorder
By Carol M. Baha, Deputy

*Patterson Law
Retain*



13TH AVE N.Y.S.

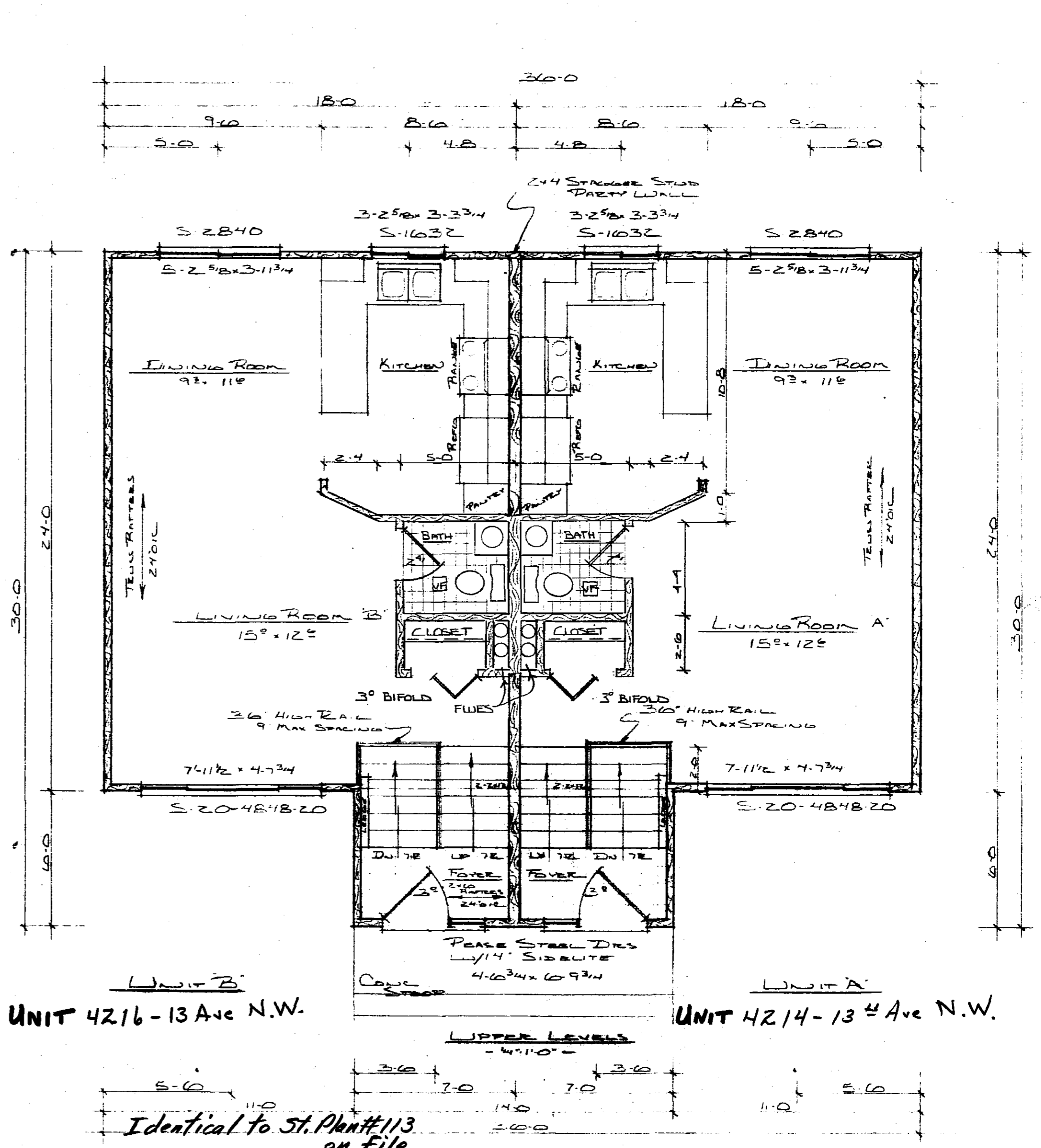


NOTICE
 THE PLANS MUST BE ON CONSTRUCTION SITE AT ALL TIMES. CALL FOR ALL FINAL INSPECTIONS BEFORE OCCUPANCY OF BUILDING.

Each sleeping room is required to have at least one emergency window with not less than 5.7 sq. ft. openable area, with sill height not over 48 inches from floor line. Minimum clear height shall be 24". Minimum clear width shall be 20".

Sidewalks are required to be constructed within 8 months from the date of issuance of this permit, or as specified by the City Engineer. Ordinance 1543.

Permits to establish driveways or to construct curb cuts on public property are required to be obtained from the City Engineer. Ordinance 1167.



UNIT 4216 - 13 Ave N.W.

UNIT 4214 - 13 Ave N.W.

Identical to St. Plan # 113 on file

APPROVED AS NOTED
 BY *Annunzio Olson* 2/27/99
 This approval shall not be construed as a certificate of determination by the Building and Safety Dept. that these plans comply with all requirements of the building codes and ordinances of the City of Rochester and applicable State laws. The owner and his contracting agent are responsible for meeting all code, ordinance and statutory requirements and should deviations subsequently be determined or discovered, the owner and his contracting agent will be required to make necessary corrections or additions.

Provide adequate protection against Freezing for all Concrete and Masonry Work. Verify method used.

FULLERTON'S		SCALE: As Noted	APPROVED BY	DRAWN BY
		DATE: 11-27-98		<i>Bill Berg</i>
				DRAWING NUMBER
				1
				EB 2020

Building Name: *Innsbruck I*

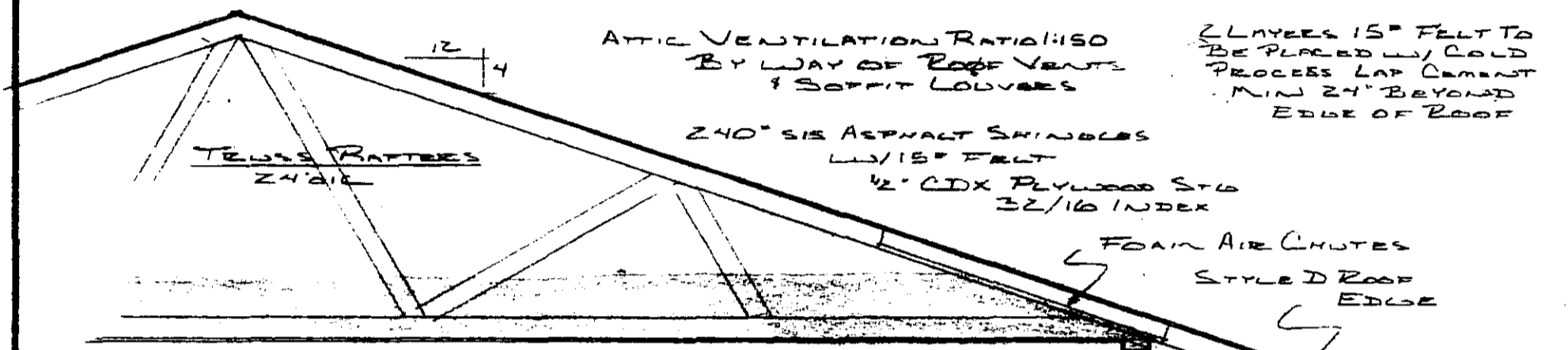
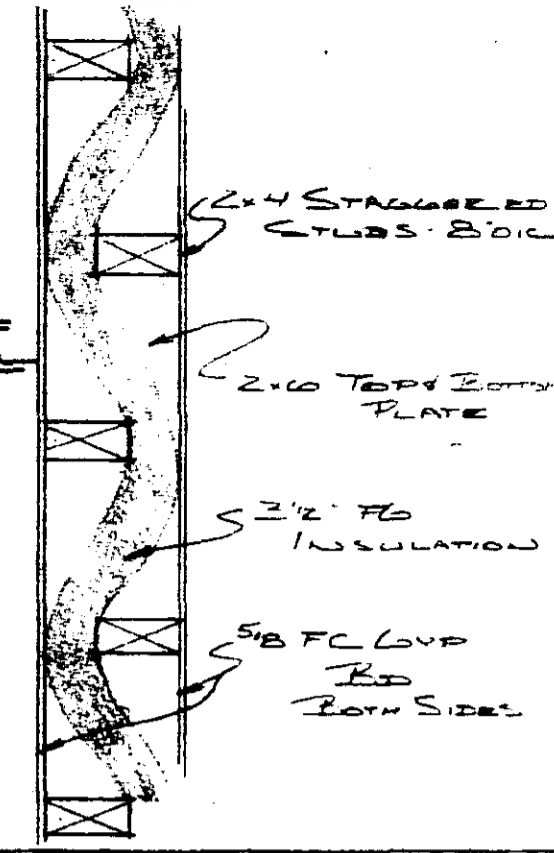
CEILING AREAS

- INTX EXT AIR FILM 1.22
- 5/8" GYP BD .45
- 10" CELLULOSE 37.00
- INSUL GUA 38.67
- INTX EXT AIR FILM 1.22
- 5/8" GYP BD .45
- 3/2" SOFTWOOD 4.48
- 6" CELLULOSE 24.00
- FRAME CUR 30.15

WALL AREAS

- INTX EXT AIR FILM .85
- 1/2" GYP BD .45
- 3/2" F5 INSUL 11.00
- 1/2" INTER STD 1.22
- SIDING .67
- INSUL WALS 14.19
- INTX EXT AIR FILM .85
- 1/2" GYP BD .45
- 3/2" SOFTWOOD 4.48
- 1/2" INTER STD 1.22
- SIDING .67
- FRAME WALS 7.67
- INTX EXT AIR FILM .85
- 3/2" F5 INSUL 11.00
- 3/8" PLYWOOD .47
- 1/2" INTER STD 1.22
- SIDING .67
- BOX END 14.21
- INTX EXT AIR FILM .85
- 1/2" GYP BD .45
- 1/2" FOAM BBBD 5.35
- B' BLOCK 1.11
- BLOCK WALS 7.70

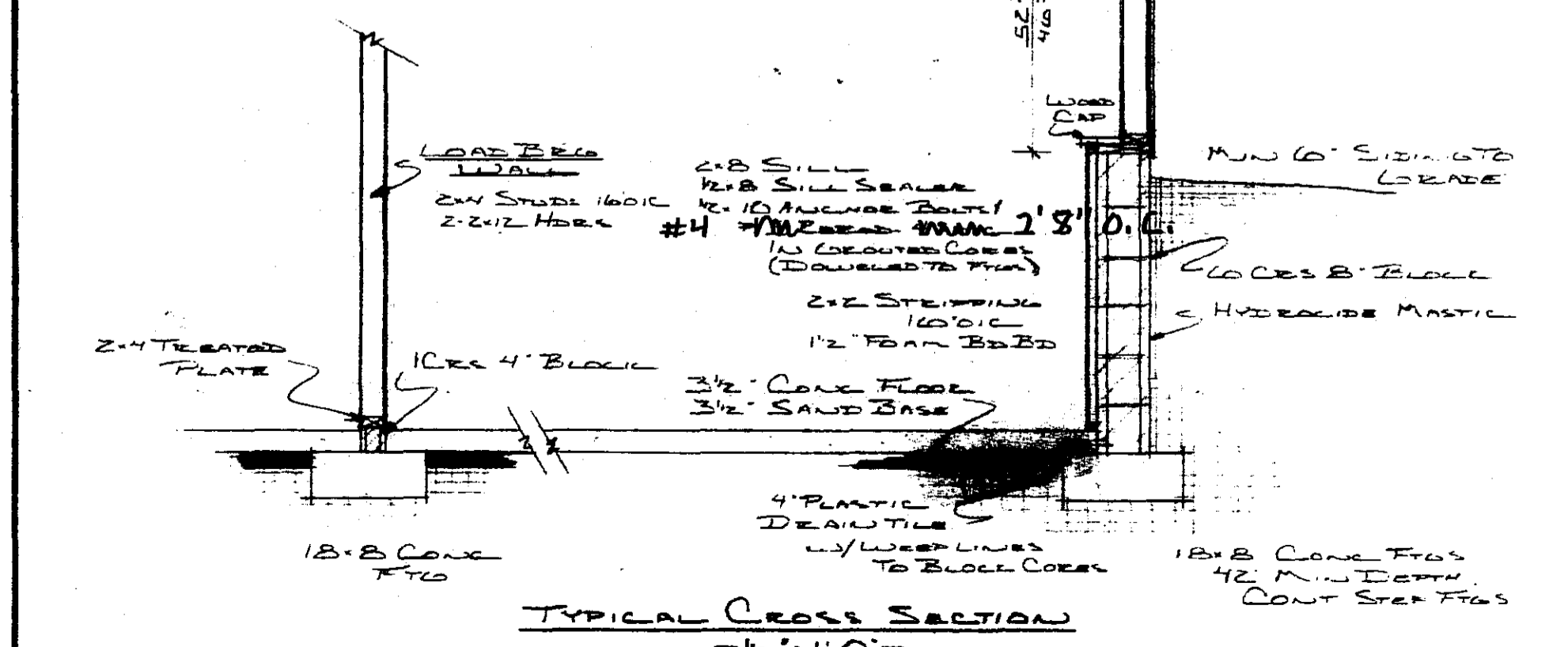
PARTY WALL DETAIL
- 12" x 10" -



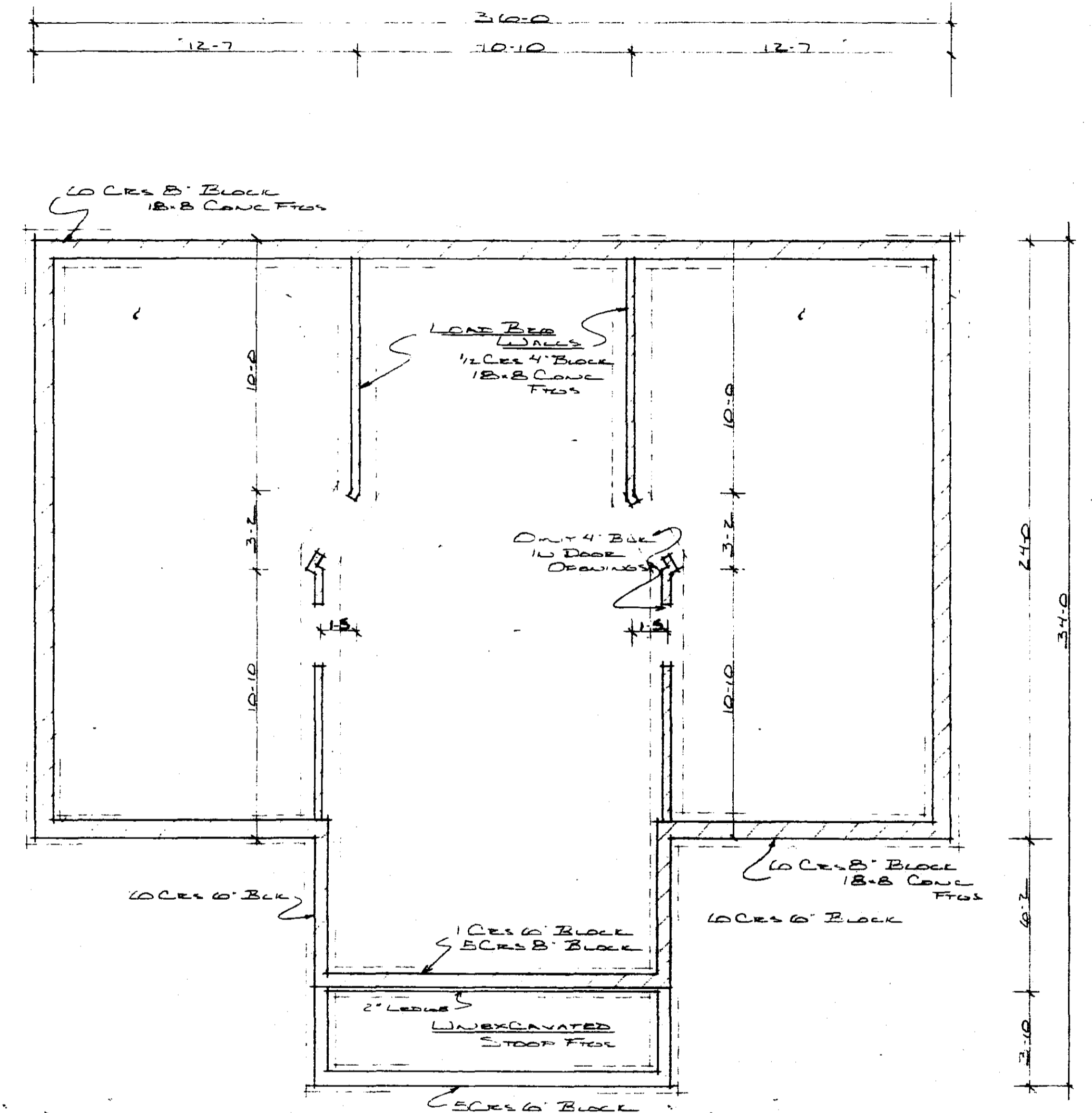
- 10" BLOWN CELLULOSE CEILING INSUL
- 3/2" F5 INSULATION WALLS & BOX END
- VAPOR BARRIER ON ALL EXT WALLS & CLG
- 5/8" GYP BD ALL CEILINGS
- 1/2" GYP BD WALLS
- 8" CEILING HOT-UP-DOWN
- DAK TRIM THROUGHOUT
- 2x4 STUDS 16" OIC
- STUD BTR FIVE
- 2x4 SILLS PLATES
- STUD BTR FIVE
- 2x2 EXT WALL
- HORS UNLRS
- NOVOS OVERLAP
- 2x1 BRDF
- DOUBLE 2x4 CEILING
- DN OPENINGS
- OVER 16"
- 1/2" INTERMEDIATE STD
- TEX INSULITE SIDING
- VERTICAL FRONT
- HORIZONTAL SIDING
- REAR

- STAIR DETAILS**
- 9" MIN TREAD
 - 8" MAX RISE
 - 3" 2x10 STRINGERS
 - 30" 3/4" HIGH
 - HANDRAIL
 - 10" 6" MIN HEADROOM

- 3/4" T&G PLYWOOD
- GLUED & NAILLED
- TRIM & PAINT
- 9/2" TJI-25 TRUSS JOIST 24" OIC
- 9/2" TJI-25 TRUSS JOIST
- BOX END
- JOIST HANGERS ON ALL
- NON BEG JOIST ENDS
- 2x8 HORS LOWER
- EXTERIOR WALLS
- 2x1 BTR DR
- MIN 10" SIDING TO GRADE
- 2x8 SILL
- 1/2" B SILL SEALER
- 1/2" 10" ANCHOR BOLT
- #4 2' 8" 0.6
- 1/2" 10" ANCHOR BOLT
- 1/2" 10" ANCHOR BOLT
- (DOUBLED TO 2x8)
- 2x2 STEPPING
- 10" OIC
- 1/2" FOAM BBBD
- 3/2" CONE FLOOR
- 3/2" SAND BASE
- 4" PLASTIC DRAIN TILE
- 1/2" WEAP LINES TO BLOCK CORES
- 18" B CONC FTG
- 42" MIN DEPTH
- CONT STEP FTGS

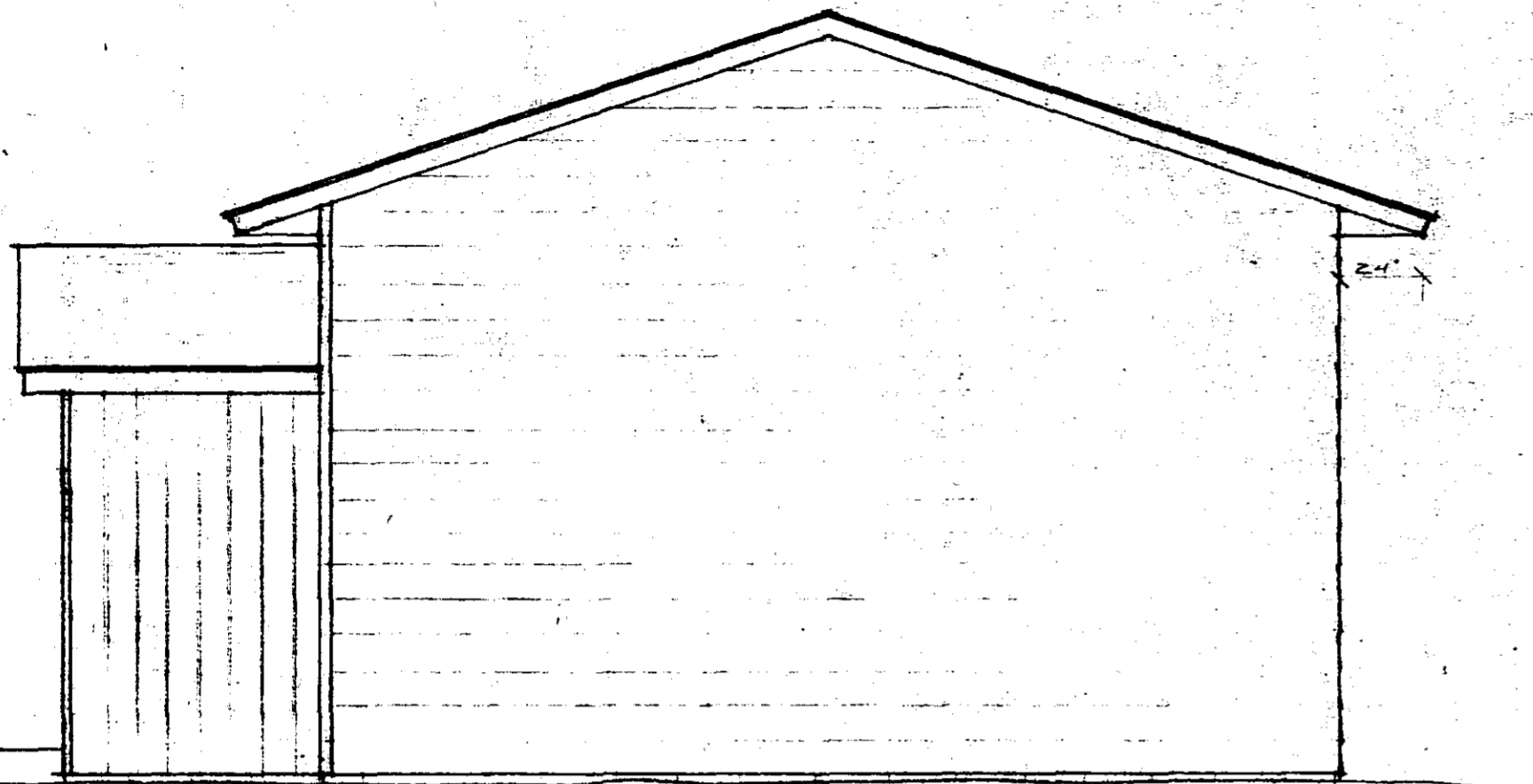


TYPICAL CROSS SECTION
- 12" x 10" -

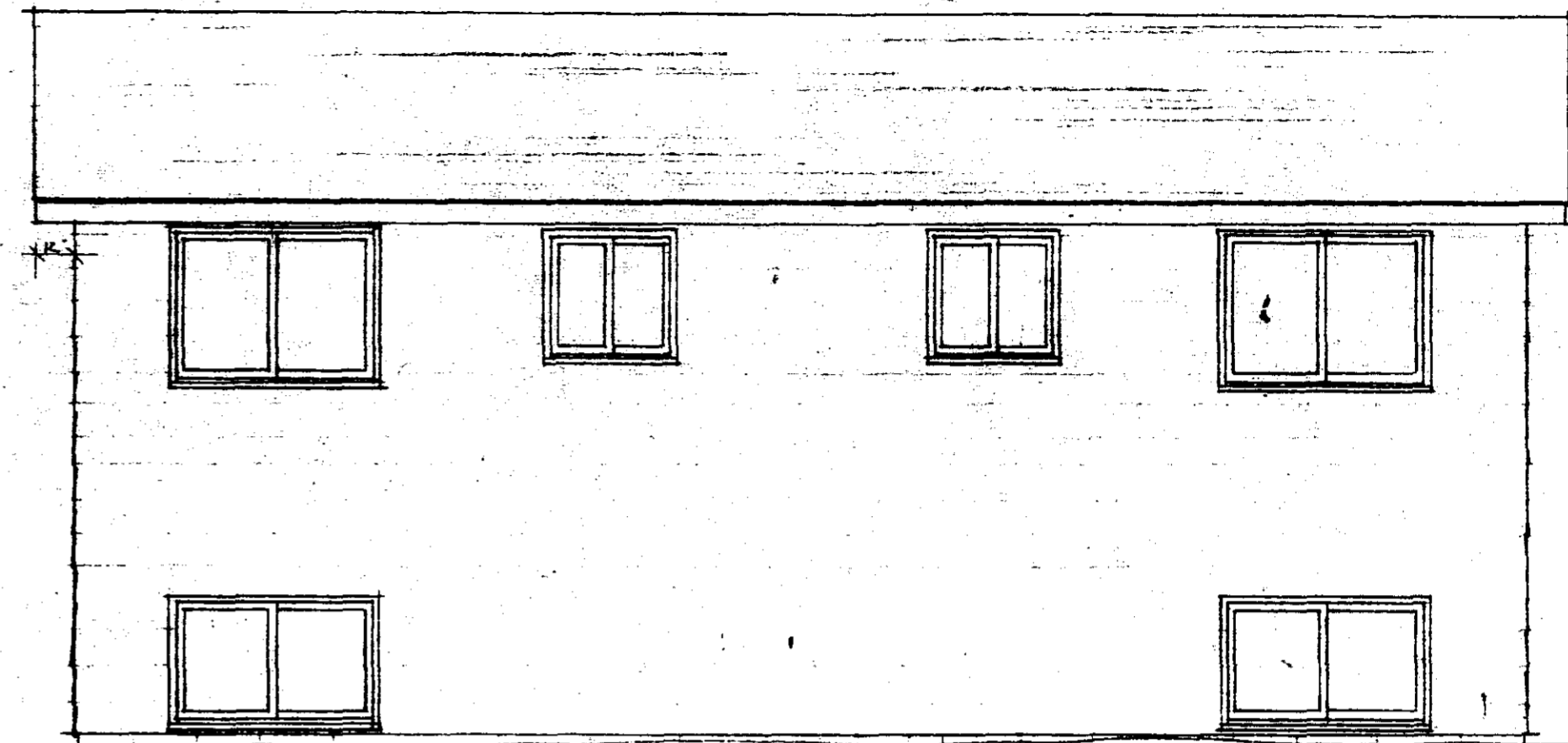


FOUNDATION PLAN
- 12' x 10' -

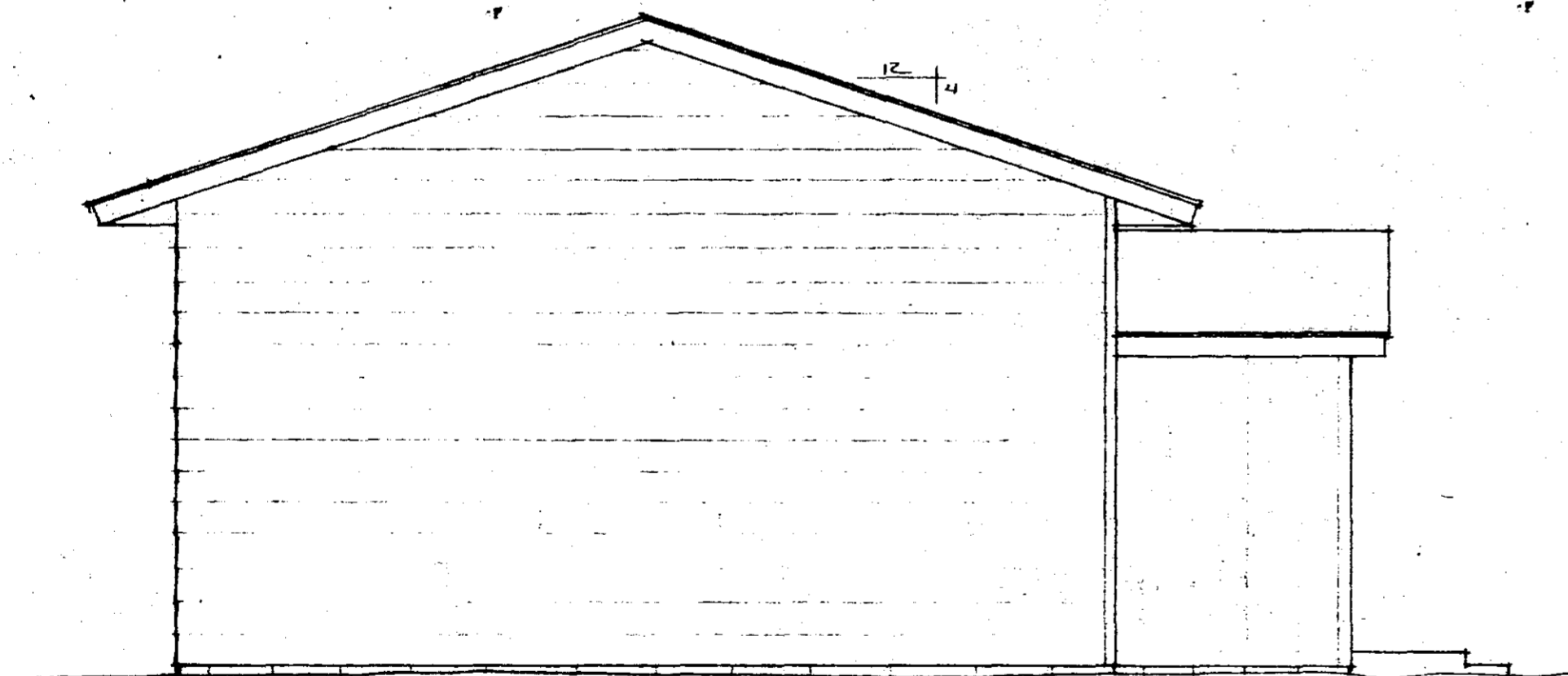
FULLERTON'S		
SCALE: As Noted	APPROVED BY	DRAWN BY
DATE: 11-27-78		W. B. BERR
Bill Berr		
DRAWING NUMBER		2
33 2020		



RIGHT ELEVATION
W: 11'0"



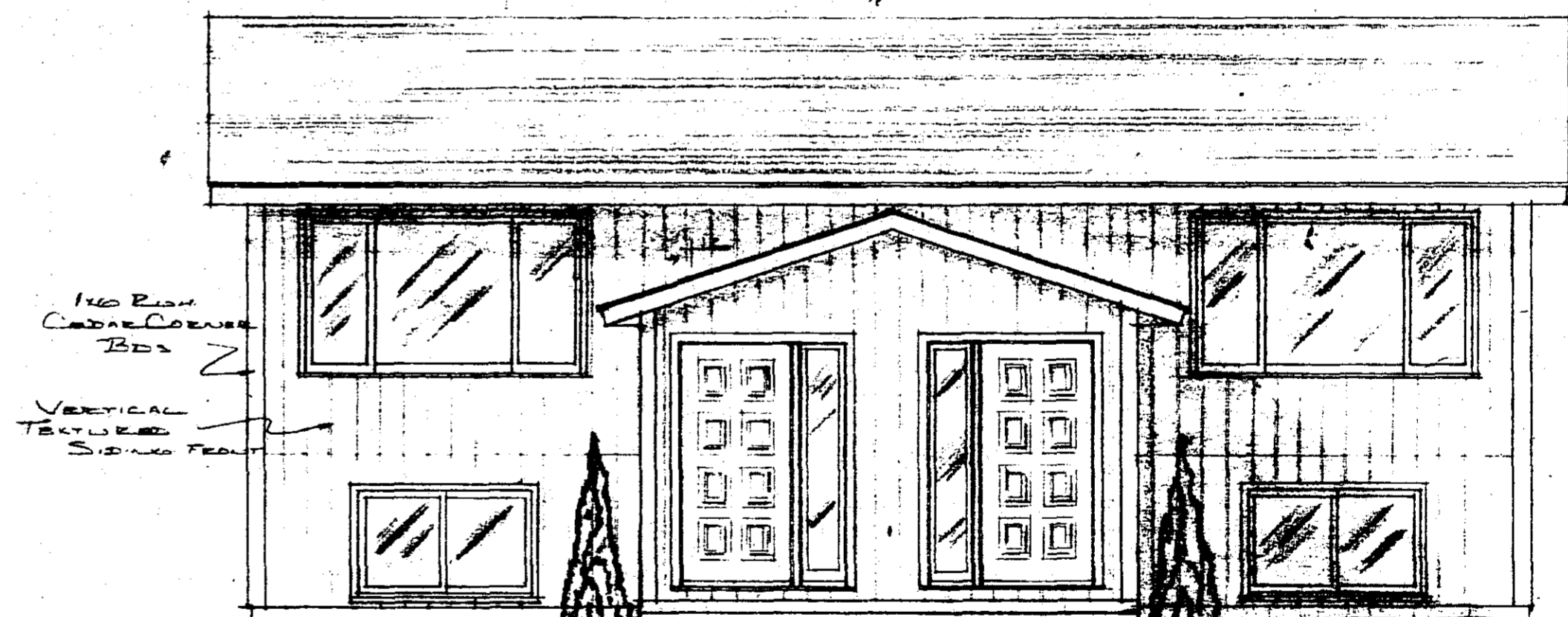
REAR ELEVATION
W: 11'0"



LEFT ELEVATION
W: 11'0"

THE FRONT ENTRANCE WILL VARY.

MIN. FRONT PORCH: 42"



THE FRONT ENTRANCE WILL VARY.

FRONT ELEVATION
W: 11'0"

FULLERTON'S

SCALE: AS NOTED APPROVED BY: *[Signature]* DRAWN BY: *[Signature]*

DATE: 10-20-2018

Bill Berg

DRAWING NUMBER

3